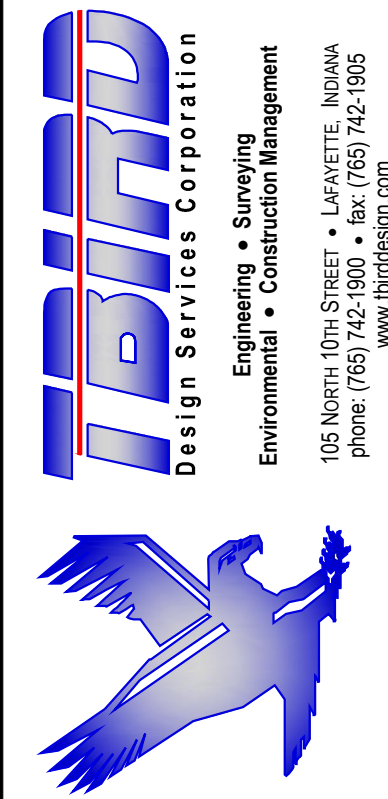


### LEGEND

 = ZONING BOUNDARY

CERTIFIED BY:

# REPLAT OF PART OF PHASE 2 RAVENSWOOD AT HICKORY RIDGE PLANNED DEVELOPMENT

**KALAN HOMES, LLC  
4600 IRONSTONE LANE  
WEST LAFAYETTE, IN 47906**

[illegible]

PROJECT NO:	10076
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FILE: 10076-ZONING.DWG

DRAWN BY: JRF

CHECKED BY:	TRB
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LOCATION:  
A PART OF THE SOUTHWEST QUARTER  
OF SECTION 15, TOWNSHIP 22 NORTH,  
RANGE 4 WEST, WEA TOWNSHIP,  
TIPPECANOE COUNTY, INDIANA

TITLE: \_\_\_\_\_

## ZONING

2



## FINAL PLAT

RAVENSWOOD AT HICKORY RIDGE  
PLANNED DEVELOPMENT - PHASE 2

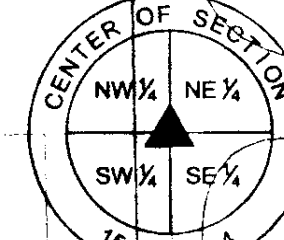
LINE	BEARING	LENGTH
L1	S59°38'14\"W	30.57
L2	S44°25'44\"E	61.11
L3	N45°03'04\"E	41.21
L4	S34°43'53\"E	66.54
L5	N72°26'01\"E	65.99
L6	N75°44'49\"W	81.32
L7	N46°37'22\"E	29.15
L8	S19°20'55\"W	58.98
L9	N23°46'44\"W	48.46
L10	S13°07'30\"W	86.56
L11	S21°21'00\"E	53.67
L12	N15°59'32\"W	62.25
L13	S77°06'50\"E	47.09
L14	S37°25'01\"W	67.52
L15	N45°17'33\"E	35.02
L16	S76°11'28\"E	25.63
L17	S16°08'31\"W	81.76
L18	N00°33'15\"W	40.93
L19	N22°33'37\"W	59.25
L20	S27°03'13\"W	50.85
L21	S51°21'06\"W	69.55
L22	S38°38'38\"W	73.28
L23	S53°18'26\"W	43.09
L24	S68°13'31\"E	70.49
L25	S70°12'33\"W	78.57
L26	S44°35'12\"E	36.71
L27	S61°59'23\"E	55.22
L28	N60°40'56\"E	29.00
L29	S14°48'09\"E	92.11
L30	S06°09'54\"W	41.82
L31	S24°57'32\"E	76.38
L32	S45°13'37\"E	69.65
L33	S26°41'05\"E	60.89
L34	N31°19'04\"E	53.37
L35	N46°41'56\"E	44.83
L36	N86°55'30\"E	38.90
L37	S88°46'05\"E	44.33
L38	N53°35'57\"E	23.19
L39	N43°05'23\"E	29.58
L40	N22°57'59\"W	23.26
L41	S45°09'42\"E	42.61
L42	S66°14'27\"E	50.10
L43	N78°17'35\"E	44.18

RAVENSWOOD AT HICKORY RIDGE  
PLANNED DEVELOPMENT - PHASE ONEPRELIMINARY PLATTED AS THE  
RETREAT AT HICKORY RIDGE  
PLANNED DEVELOPMENT

CURVE	CHORD BRG	CHORD L	RADIUS	ARC L	DELTA ANGLE
C1	N44°00'31\"E	21.21	15.00	23.56	90°00'00\"
C2	S59°12'56\"W	228.56	230.00	239.20	59°35'11\"
C3	N54°00'22\"E	45.76	55.00	47.20	49°10'04\"
C4	S69°40'20\"W	23.25	75.00	23.35	17°50'08\"
C5	S20°39'59\"W	96.59	75.00	104.95	80°10'34\"
C6	S45°05'18\"W	40.50	75.00	41.01	31°19'56\"
C7	S05°00'01\"W	62.02	75.00	63.94	48°50'38\"
C8	N06°34'48\"E	48.22	55.00	49.92	52°00'11\"
C9	N74°12'28\"E	557.99	420.00	610.27	83°15'09\"
C10	N71°05'25\"W	151.90	630.00	152.28	13°50'56\"
C11	N75°47'59\"W	71.94	137.00	72.80	30°26'39\"
C12	N45°00'00\"W	106.07	75.00	117.81	90°00'00\"
C13	S45°00'00\"W	282.84	200.00	314.16	90°00'00\"
C14	S30°34'10\"E	76.29	75.00	80.03	61°08'20\"
C15	S70°27'44\"E	24.30	75.00	24.41	18°38'47\"
C16	N79°55'33\"E	52.01	75.00	53.12	40°34'38\"
C17	N29°49'07\"E	74.59	75.00	78.07	59°38'14\"

NORTH QUARTER CORNER,  
SECTION 15-22-4

COUNTY ROAD 450 SOUTH

EAST QUARTER CORNER,  
SECTION 15-22-4

CONCORD ROAD

SCALE: 1" = 60'

DULY EXAMINED FOR TAXATION  
SUBJECT TO FINAL ACCEPTANCE  
FOR TRANSFER

JUL 2 2 2004

AUNTOR OF TIPSPECANOE CO.

SOUTH QUARTER CORNER,  
SECTION 15-22-4

## LEGAL DESCRIPTION

A part of the southwest quarter of Section 15-22-4, Township Twenty-two (22) North, Range Four (4) West, in Wea Township, Tippecanoe County, Indiana, being more completely described as follows, to-wit:

Beginning at the northeast corner of the southwest quarter of Section 15-22-4 and the northeast corner of Ravenswood at Hickory Ridge Planned Development - Phase One (1) as per the plat thereof; thence along the bounds of said Planned Development for the following nine (9) courses: (1) along the east line of said southwest quarter, South 00°59'29\" East, 495.00 feet; (2) South 89°00'31\" West, 40.00 feet; (3) South 00°59'29\" East, 105.00 feet; (4) along a tangent curve to the right (said curve having a radius of 15.00 feet and a chord bearing South 44°00'31\" West, 21.21 feet) an arc distance of 23.56 feet; (5) South 89°00'31\" West, 42.06 feet; (6) along a tangent curve to the left (said curve having a radius of 230.00 feet and a chord bearing South 59°12'56\" West, 228.56 feet) an arc distance of 239.20 feet; (7) South 29°25'20\" West, 60.19 feet; (8) along a tangent curve to the right (said curve having a radius of 55.00 feet and a chord bearing South 54°00'22\" West, 45.76 feet) an arc distance of 47.20 feet; (9) along a tangent curve to the left (said curve having a radius of 75.00 feet and a chord bearing South 69°40'20\" West, 23.25 feet) to the point of beginning of the herein described tract; thence along a tangent curve to the left (said curve having a radius of 75.00 feet and a chord bearing South 20°39'59\" West, 96.59 feet) an arc distance of 104.95 feet; thence along a tangent curve to the right (said curve having a radius of 55.00 feet and a chord bearing South 06°34'48\" West, 48.22 feet) an arc distance of 49.92 feet; thence along a tangent curve to the right (said curve having a radius of 420.00 feet and a chord bearing South 74°12'28\" West, 557.99 feet) an arc distance of 610.27 feet; thence North 64°09'58\" West, 199.82 feet; thence along a tangent curve to the left (said curve having a radius of 630.00 feet and a chord bearing North 71°05'25\" West, 151.90 feet) an arc distance of 152.28 feet; thence North 75°00'53\" West, 80.10 feet; thence North 02°15'56\" East, 505.71 feet; thence North 00°44'45\" West, 440.00 feet to the north line of said southwest quarter; thence along said north line, North 89°15'28\" East, 66.78 feet to the northwest corner of Lot One (1) in said Ravenswood at Hickory Ridge Planned Development - Phase One (1) thence along the bounds of said Lot One (1) for the following five (5) courses: (1) South 00°00'00\" East, 159.74 feet; (2) South 90°00'00\" East, 198.24 feet; (3) South 00°44'32\" East, 457.47 feet; (4) South 29°25'20\" West, 134.51 feet; (5) South 60°34'40\" East, 159.27 feet to the point of beginning, containing 20.71 acres, more or less.

SUBJECT TO ALL EASEMENTS, RESTRICTIONS, AND RIGHTS-OF-WAY OF RECORD

## DEDICATION CERTIFICATE

We the undersigned, Kalan Homes, LLC, owner of the real estate shown and described herein, do hereby lay off, plat and subdivide said real estate in accordance with the herein plat.

This planned development shall be known as RAVENSWOOD AT HICKORY RIDGE PLANNED DEVELOPMENT - PHASE TWO an addition to Wea Township, Tippecanoe County, Indiana. All streets and alleys and public open spaces shown and not heretofore dedicated are hereby dedicated to the public.

Front and side yard building setback lines are hereby established as shown on this plat, between which lines and the property lines of the street there shall be erected or maintained no building or structure.

EASEMENTS - Easements for the installation and maintenance of utilities, drainage and CATV facilities are reserved as shown on the recorded plat. Within these easements, no structure, planting, or other material shall be placed or permitted to remain which may damage or interfere with the installation and maintenance of utilities or which may change the direction of flow of drainage channels in the easements or which may obstruct or retard the flow of water through drainage channels. In the easements, the easement area of each lot, and all improvements in it shall be maintained continuously by the owner of the lot except for those improvements for which a public authority or utility company is responsible.

For additional covenants, see the document recorded in Document No. 04021032, in the Office of the Recorder of Tippecanoe County, Indiana.

The foregoing covenants (or restrictions) are to run with the land and shall be binding on all parties and all persons claiming under them until the date specified in the covenants, at which time said covenants (or restrictions) shall be automatically extended for successive periods of ten (10) years unless by vote of a majority of the then owners of the building sites covered by these covenants (or restrictions), it is agreed to change such covenants (or restrictions) in whole or in part.

Invalidation of any one of the foregoing covenants (or restrictions) by judgment or court order shall in no wise affect any of the other covenants (or restrictions) which shall remain in full force and effect.

The right to enforce these provisions by injunction, together with the right to cause the removal by due process of law of any structure or lot thereof erected or maintained in violation hereof, is hereby dedicated to the public, and reserved to the owner of the lot in this planned development and to his heirs and assigns.

WITNESS MY HAND AND SEAL THIS 30<sup>th</sup> DAY OF JUNE 2004Kalan Homes, LLC  
By Alan D. White, MemberSTATE OF INDIANA )  
COUNTY OF TIPPECANOE )

Before me, the undersigned, a Notary Public in and for said County and State, personally appeared Alan D. White, Member of Kalan Homes, LLC and acknowledged the execution of this instrument this 30<sup>th</sup> day of JUNE 2004.

Julia M. White  
County of Residence: Tippecanoe  
My Commission expires on: August 7, 2007

## LAND SURVEYOR'S CERTIFICATE

The undersigned hereby certifies that he is a Registered Professional Land Surveyor of the State of Indiana, that this plat correctly represents a survey completed by him, that all the monuments shown thereon actually exist, and their location, size, type, and material are accurately shown; and that the computed error of closure of the boundary survey is not more than one (1) foot in ten thousand (10,000) feet, and that this plat complies with the planned development provisions of the Unified Zoning Ordinance.

CERTIFIED BY: Timothy A. Beyer, RLS #20100036 Date: 6-14-2004

PREPARED FOR: Kalan Homes, LLC  
711 South 9th Street  
Lafayette, IN 47905

TITLE HOLDER: Kalan Homes, LLC

AUDITOR'S KEY NUMBER: 146-05300-0643

THESE PLANS ARE VOID  
UNLESS SIGNED AND DATED

NOTE  
This plat has been prepared pursuant to Section B-3 (Final Plats for PD Submissions) of the Unified Zoning Ordinance of Tippecanoe County, Indiana as adopted January 2, 1998 (amended) and is based on previous survey work by Vester and Associates, Inc., in Document No. 01010770, recorded May 7, 2001, in the office of the Tippecanoe County Recorder

04021032  
Filed for Record in  
TIPPECANOE COUNTY, IN  
JANUARY 2, 2004 at 10:32 am.  
PLAN DEV LG 21.00  
OR Book 11 Page 263 - 263PART OF THE SOUTHWEST QUARTER OF  
SECTION 15, TOWNSHIP 22 NORTH, RANGE 4  
WEST, WEA TOWNSHIP, TIPPECANOE  
COUNTY, INDIANAKALAN HOMES, LLC  
711 SOUTH 9TH STREET, SUITE 2  
LAFAYETTE, IN 47905OFFICE LOCATION:  
711 SOUTH 9TH STREET, SUITE 2  
LAFAYETTE, INDIANA 47905  
PHONE: 765-242-4444  
FAX: 765-242-4444Vester and Associates, Inc.  
LAND SURVEYORS  
1000 E. 10TH AVENUE, SUITE 100  
LAFAYETTE, INDIANA 47905  
PHONE: 765-242-4444  
FAX: 765-242-4444

UPPER INFORMATION

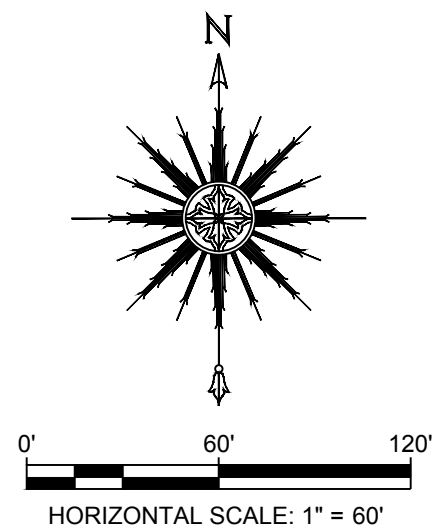
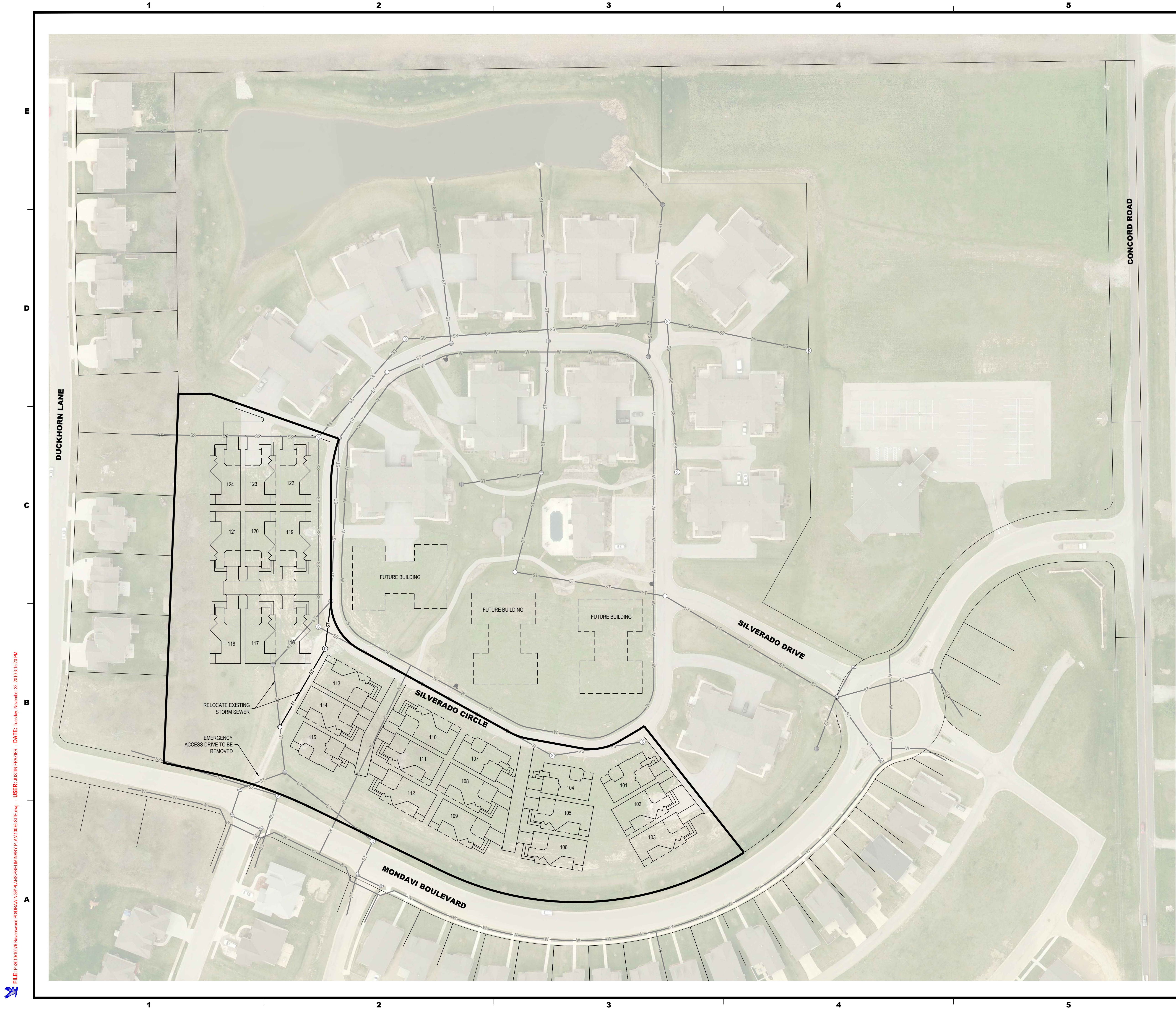
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**PLANNED DEVELOPMENT SUMMARY**

**ORIGINAL PLANNED DEVELOPMENT**  
(PORTION BEING REZONED)

TOTAL AREA: 5.26 ACRES  
NUMBER OF BUILDINGS: 6  
NUMBER OF UNITS: 24  
GREENSPACE: 54%

**PROPOSED PLANNED DEVELOPMENT**

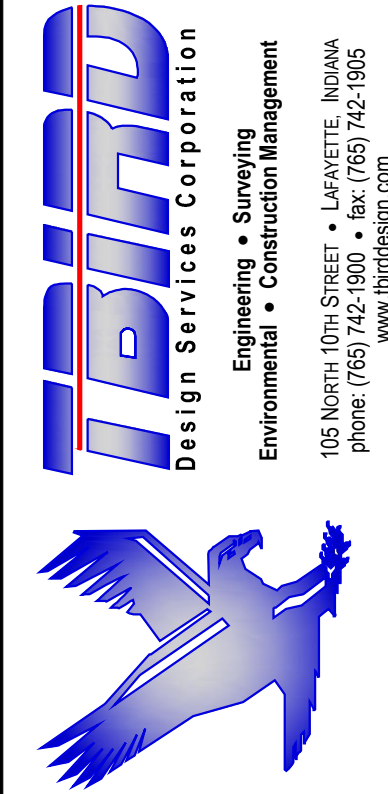
TOTAL AREA: 5.26 ACRES  
NUMBER OF BUILDINGS: 24  
NUMBER OF UNITS: 24  
GREENSPACE: 54%

**REPLAT OF PART OF PHASE 2  
RAVENSWOOD AT HICKORY RIDGE  
PLANNED DEVELOPMENT**

**KALAN HOMES, LLC  
4500 IRONSTONE LANE  
WEST LAFAYETTE, IN 47906**

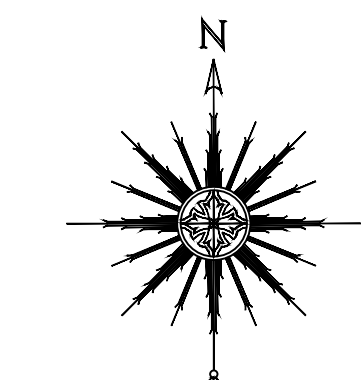
PROJECT NO: **10076**  
FILE: 10076-SITE.DWG  
DRAWN BY: JRF  
CHECKED BY: TRB  
LOCATION:  
A PART OF THE SOUTHWEST QUARTER  
OF SECTION 15, TOWNSHIP 22 NORTH,  
RANGE 4 WEST, WEA TOWNSHIP,  
TIPPECANOE COUNTY, INDIANA

**SITE &  
UTILITY PLAN**



CERTIFIED BY:





= ORNAMENTAL TREE

ANY TREES, PER THE TREE LIST BELOW, MAY BE INSTALLED AT THE LANDSCAPERS DISCRETION.  
REFER TO ORIGINAL LANDSCAPE PLAN FOR RAVENSWOOD PLANNED DEVELOPMENT FOR EXISTING  
LANDSCAPING AND AREAS ADJACENT TO THE SUBJECT PLANNED DEVELOPMENT.

<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>
ACER FREMANIANI 'AUTUMN BLAZE'	AUTUMN BLAZE RED MAPLE
ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE - OCTOBER GLORY
ACER RUBRUM 'RED SUNSET'	RED MAPLE - RED SUNSET
ACER PLATANOIDES	NORWAY MAPLE
QUERCUS MAXIMA	EASTERN RED OAK
QUERCUS ALBA	WHITE OAK
BETULA NIGRA	RIVER BIRCH
CELTIS OCCIDENTALIS	HACKBERRY
GLEDITSIA TRIACANTHOS	HONEY LOCUST

<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>
CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORNE
PIRUS CALLERYANA 'CLEVELAND SELECT'	CLEVELAND FLOWERING PEAR
PIRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER FLOWERING PEAR
PIRUS CALLERYAN	CALLERY PEAR
CERCIS CANADENSIS	EASTERN REDBUD
MALUS SARGENTII	SARGENTS CRABTREE
MALUS FLORIBUNDA	JAPANESE FLOWERING CRABTREE
MALUS BACCATE	SIBERIAN CRABTREE
GINKGO BILBOA	GINKGO
CRATAGUS VIRIDIS	GREEN HAWTHORN
PINUS MUGO	DRARF MUGHO PINE
SYRINGA MEYERI 'PALIBIN'	LILAC-KOREAN
SYRINGA VULGARIS	LILAC - COMMON PURPLE
AMELANCHIER CANADENSIS	SERVICEBERRY
MALUS X ZUMI 'CALOCARPA'	ZUMI CRABAPPLE
CORNUS MAS	DOGWOOD

FILE: 10076-LANDSCAPE.DWG

CHECKED BY: TRE

A PART OF THE SOUTHWEST QUARTER

TITLE:	
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## LANDSCAPE PLAN

6

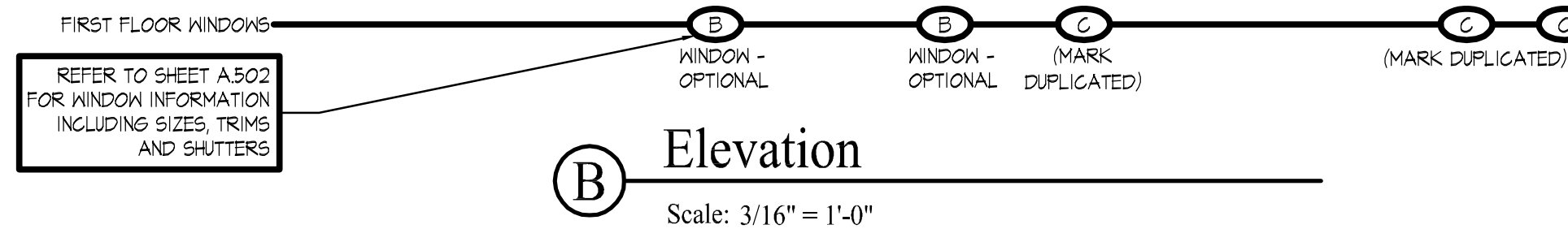
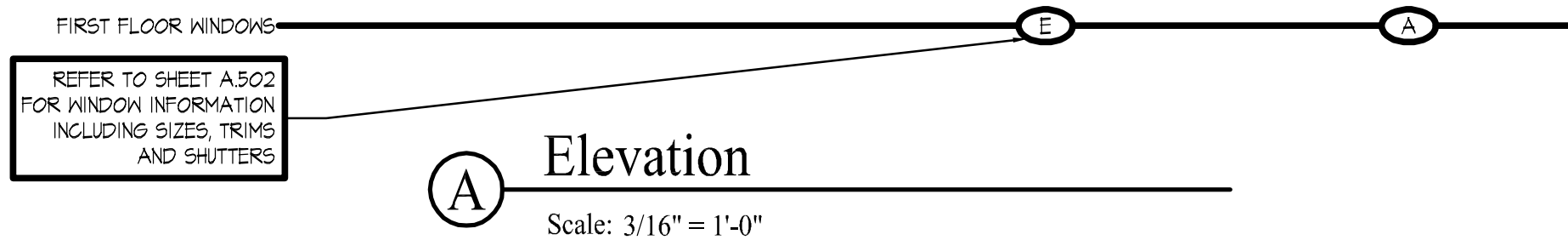






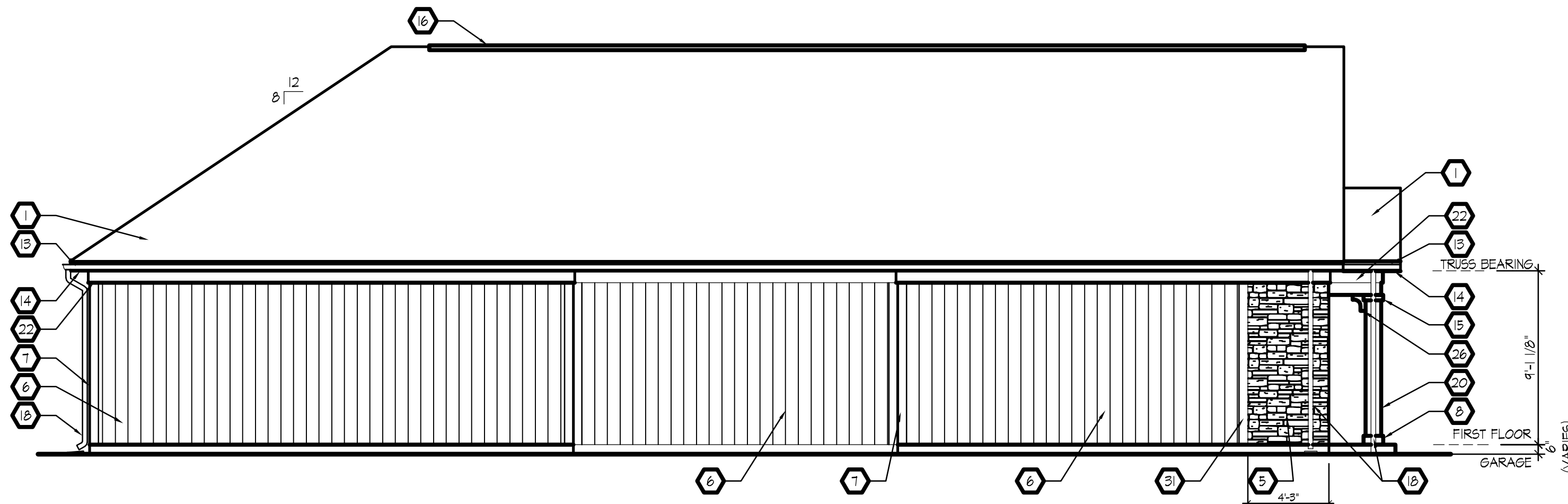
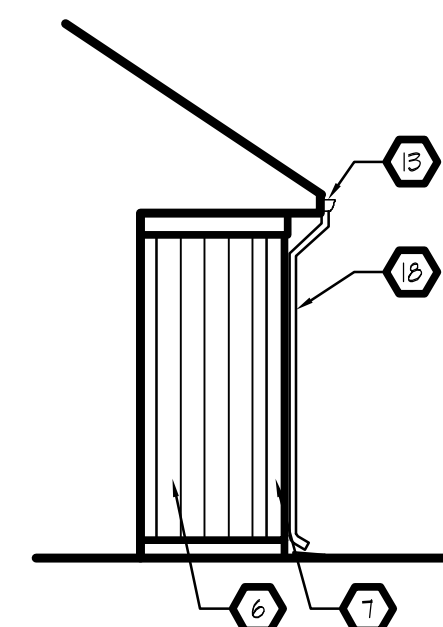
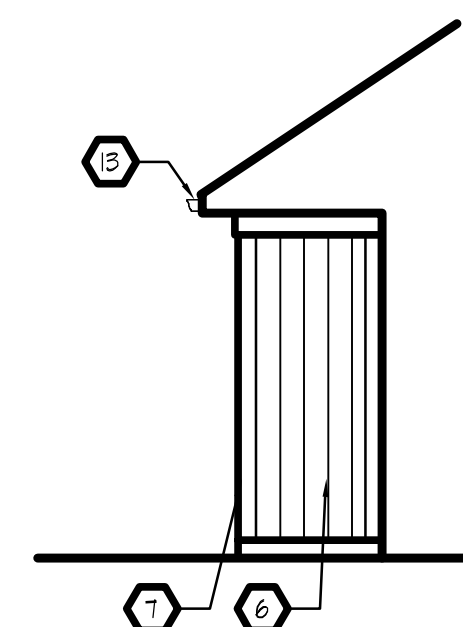
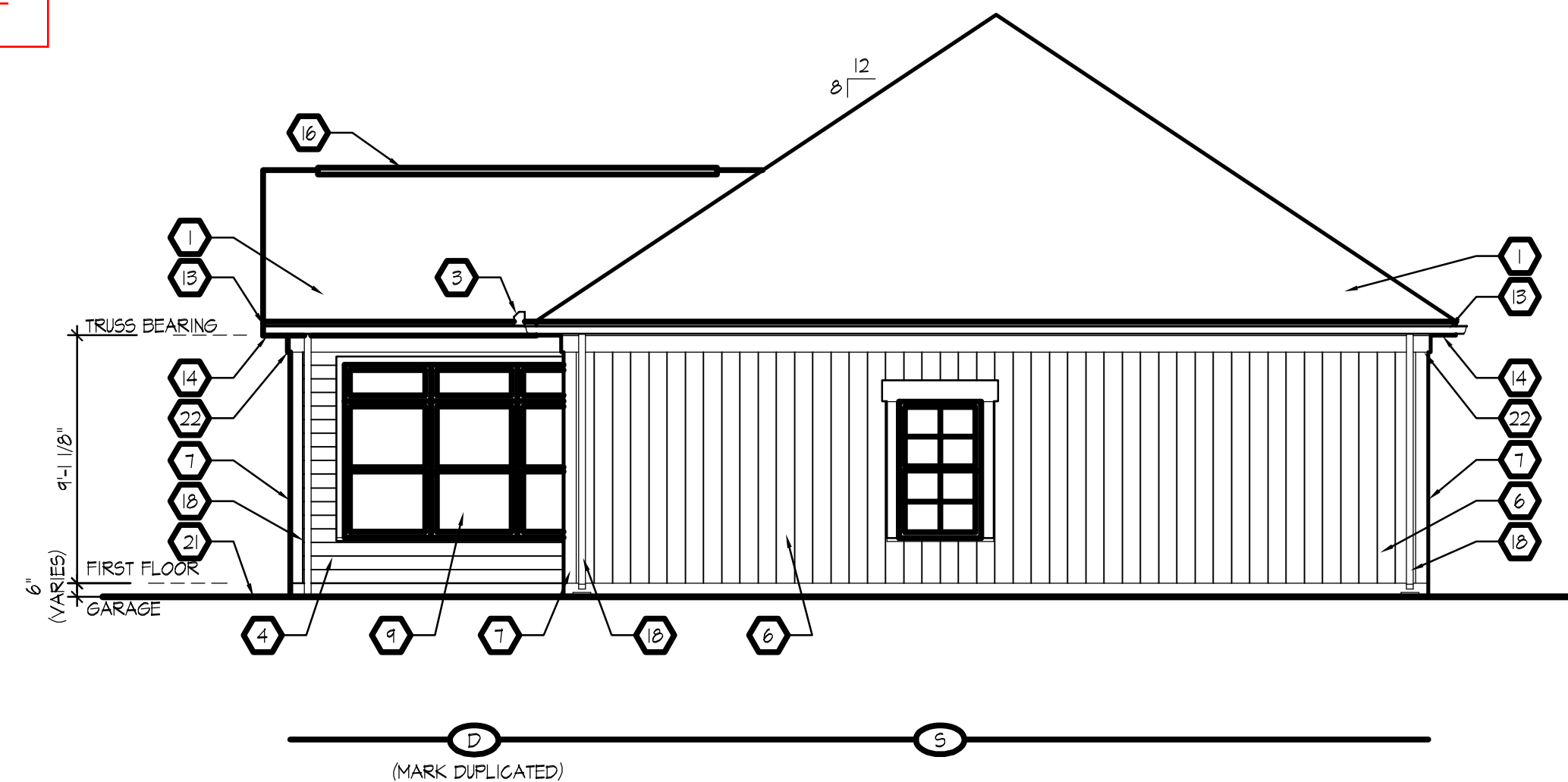
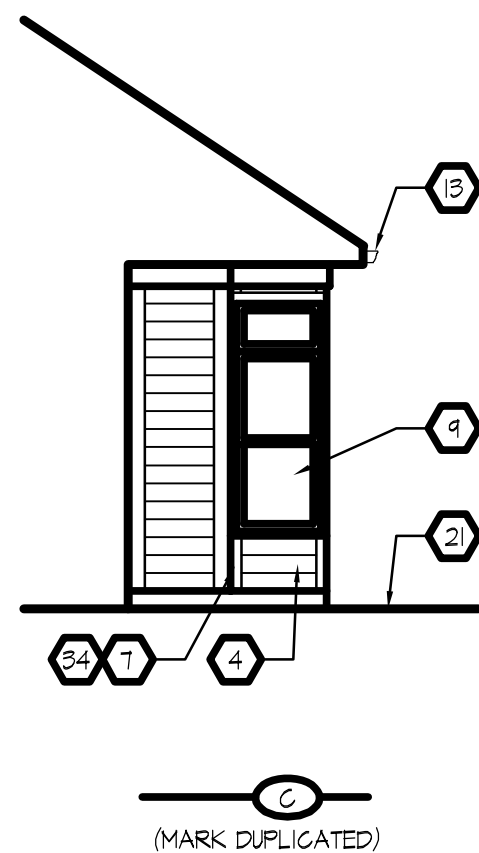
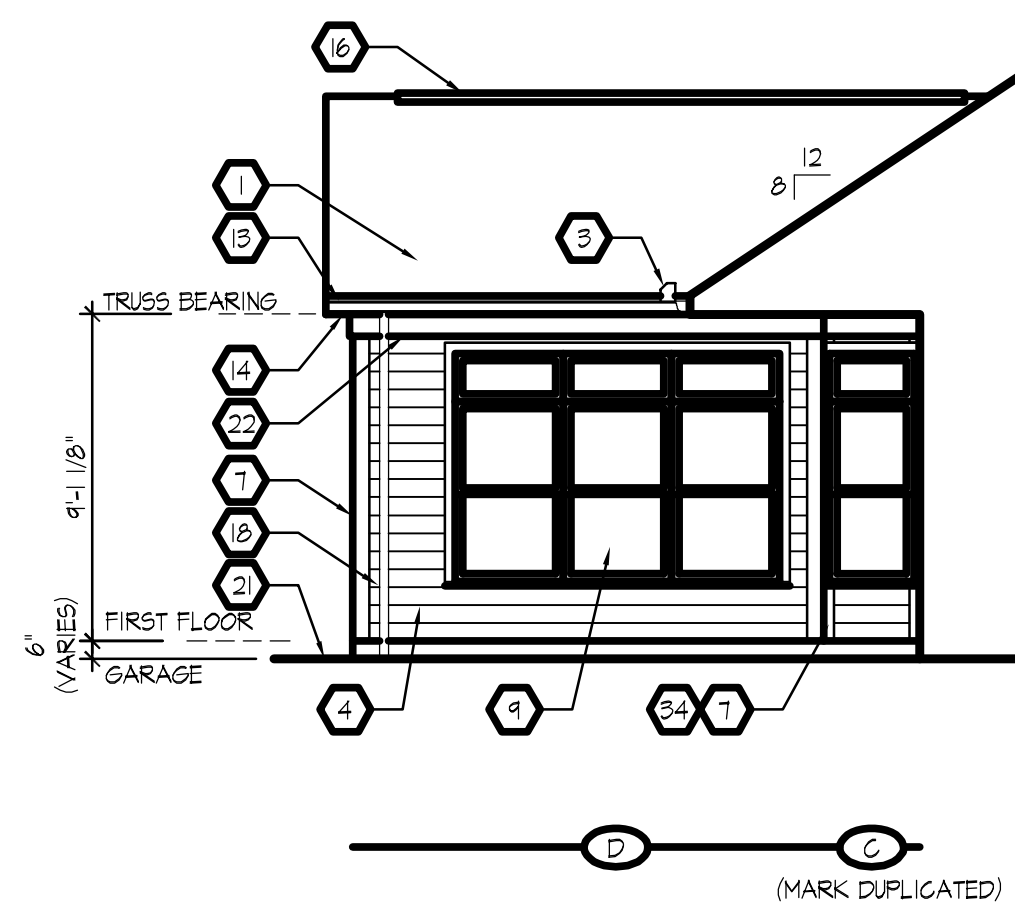






1. FIBERGLASS / ASPHALT SHINGLE ROOFING OVER 1 LAYER OF 1/4 FELT - TYPICAL.
2. ALUMINUM GLAD WOOD RAKE EXTENSION - TYPICAL.
3. WATER FLOW DIVERTER - TYPICAL AT VALLEY ENDS.
4. PRE-PRIMED COMPOSITION FIBER CEMENT PL SIDING.
5. CULTURED STONE VENEER. COLOR, STYLE, MORTAR COLOR, COURSING, & JOINT STYLE TO BE SELECTED BY THE OWNER.
6. T-111 PLYWOOD SIDING.
7. 5/4 x 6 CORNER TRIM - RIP ONE SIDE TO ACHIEVE 5 1/2" DIMENSION EACH SIDE OF CORNER.
8. 1 x 6 PAINTED COLUMN BASE TRIM WITH BEVELED TOP EDGE - TYPICAL.
9. VINYL WINDOW UNIT (TYPICAL) - SEE WINDOW DETAILS ON SHEET A302 FOR SIZE AND TRIM INFORMATION.
10. PRE-HUNG INSULATED METAL ENTRY DOOR - PAINTED; SEE DOOR SCHEDULE FOR MORE INFORMATION.
11. BRICK ARCHED SOLDIER COURSE AT DOOR HEAD OVER 5/4 SMOOTH SAWN CEDAR TRIM.
12. DORMER LOCATION. SEE DETAIL A ON SHEET A304 FOR MORE INFORMATION.
13. 5" ALUMINUM OSGEE GUTTER ON 2 X 6 ALUMINUM GLAD WOOD SUB FASCIA - TYPICAL.
14. VENTED ALUMINUM SOFFIT (TYPICAL) - SEE TYPICAL WALL SECTIONS FOR MORE DETAILS.
15. 1 x 4 PAINTED COLUMN CAP TRIM - TYPICAL.
16. CONTINUOUS RIDGE VENT LOCATION - TYPICAL.
17. PANELED OVERHEAD GARAGE DOOR - TYPICAL. SEE SHEET A301 FOR DETAILS.
18. DOWNSPOUT LOCATION WITH SPLASH BLOCK (NO SPLASH BLOCK WHERE ROUTED UNDER WALKS AND PATIO) - TYPICAL.
19. 5/4 x 6 RAKE TRIM AT FACE OF WALL - TYPICAL.
20. 10" SQUARE BUILT-UP COLUMN/FILASTER - SEE DETAIL F, SHEET A304 FOR MORE INFORMATION - TYPICAL.
21. APPROXIMATE LINE OF GRADE - TO BE COORDINATED WITH BUILDER PRIOR TO START OF CONSTRUCTION - MAINTAIN MINIMUM 6" BELOW FIRST FLOOR - TYPICAL.
22. 5/4 x 6 FRIEZE BOARD TRIM - TYPICAL.
23. ADDRESS PLAQUE - USE DOUBLE THICKNESS TRIM AS BACKING. MOUNT TOP @ 5'4" AFF. ON WALL - TYPICAL.
24. EXTERIOR LIGHT FIXTURE - USE DOUBLE THICKNESS TRIM AS BACKING. MOUNT @ 6'-0" AFF. ON WALL - TYPICAL.
25. ALUMINUM GLAD WOOD FRENCH SLIDING DOOR UNIT - PAINTED; SEE DOOR SCHEDULE FOR MORE INFORMATION.
26. DECORATIVE WALL BRACKET - PFYRON BXTXNB.
27. SLOPED BRICK ROWLOCK BELT COURSE.
28. 5/4 PLASTER TRIM - CUT TO FIT BETWEEN WINDOWS.
29. 5/4 x 8 ARCHED LOUVER TRIM.
30. BRICK SOLDIER COURSE.
31. 5/4 x 6 PAINTED WOOD TRIM.
32. EYEBROW LOUVER - BY PFYRON - 1'-6" WIDE X 2'-6" HIGH OR EQUAL.
33. PROVIDE STEP FLASHING AND COUNTER FLASHING MIN. 16" HIGH THE ENTIRE LENGTH OF VERTICAL WALL ADJACENT TO ROOF - TYPICAL.
34. HEAD AND SILL WINDOW TRIM TO CONTINUE TO ADJACENT CORNER TRIM. TRIM INFL. BETWEEN WINDOW JAMB AND CORNER TRIM OR CUT WINDOW TRIM AS NECESSARY - CORNER TRIM ALWAYS CONTINUOUS.
35. POURED CONCRETE STEPS WITH 1" TREAD AND 8 1/4" RISER MAXIMUM.
36. 2 X 8 PAINTED WOOD HEAD TRIM WITH 2" OVERHANG EACH SIDE.
37. 2 X 10 PAINTED WOOD EYEBROW TRIM. END OF TRIM TO BE 2" LESS THAN HEIGHT OF 2X.
38. WOOD GUARD RAIL - SEE DETAIL K ON SHEET A304.
39. 5/4 x 8 TRIM - SEE WALL SECTION D ON SHEET A301.
40. WINDOWS IN GARAGE DOORS - OPTIONAL.
41. DORMER LOCATION. SEE WALL SECTION ON SHEET A303A FOR MORE INFORMATION.

ALL SIDING & TRIM TO BE LOUISIANA PACIFIC "SMART  
SIDE" CEDAR GRAIN TEXTURE (UNLESS NOTED OTHERWISE).  
- SIZES AS INDICATED.



REV.	DATE	REV. BY	DESCRIPTION
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**ARKÖR**  
ARCHITECTS & ENGINEERS

ARCHITECTURE  
ENGINEERING  
PLANNING  
INTERIORS

1515 UNION STREET  
LAFAYETTE, IN 47904  
765.429.4070 | v  
765.429.4511 | f  
www.parkerinc.com

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**EPCON**  
Communities

**RAVENSWOOD**  
AT HICKORY RIDGE

SEAL:

SHEET TITLE:

## EXTERIOR ELEVATIONS

PROJECT: KALAN HOMES - PALAZZO

PROJECT LOCATION:

WEST LAFAYETTE, INDIANA

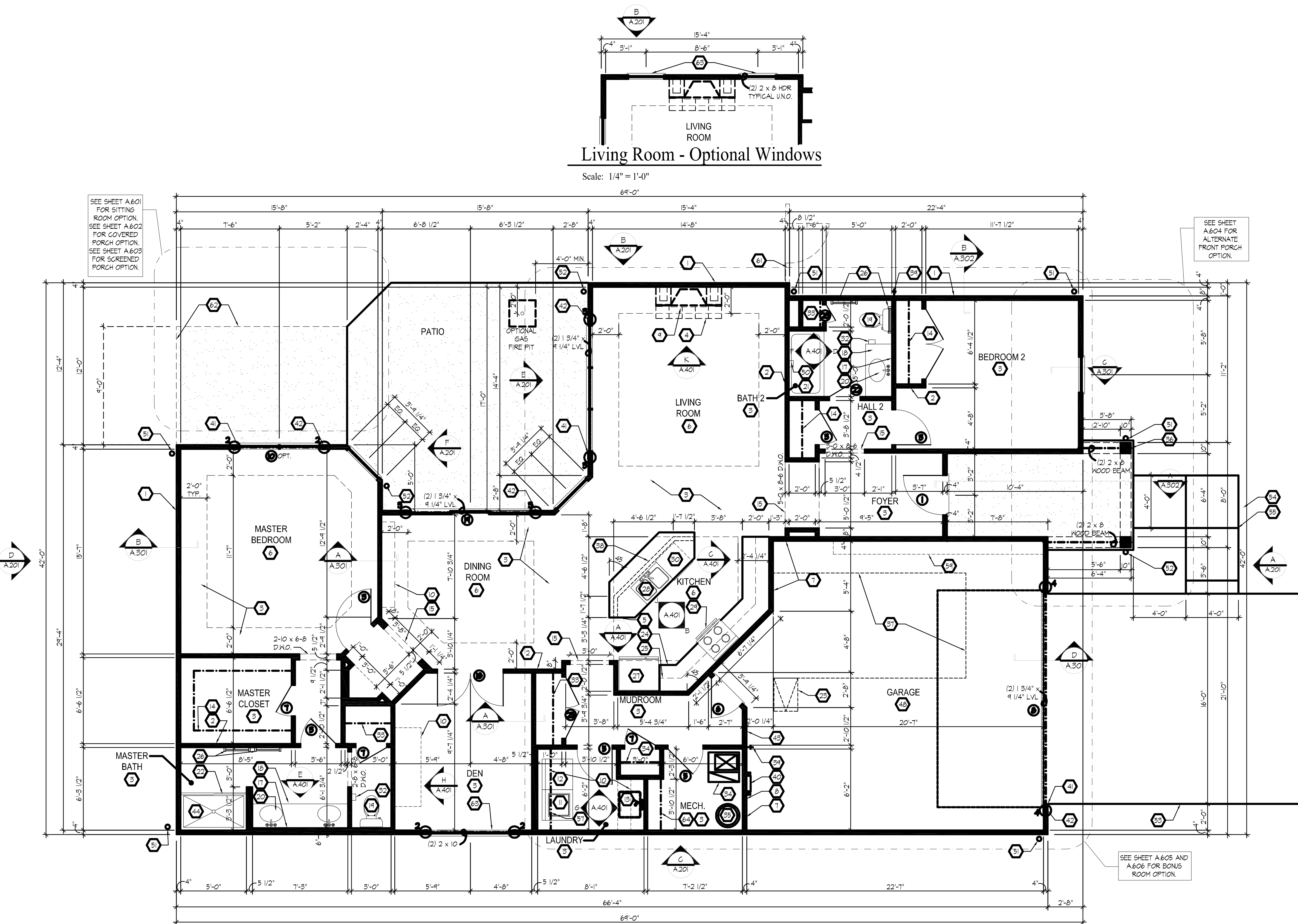
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DRAWN BY: LJS	CHK'D BY: AAS
PLAN DATE: November 19, 2010	
PLOT DATE: November 23, 2010	

PROJECT NUMBER  
R-10037

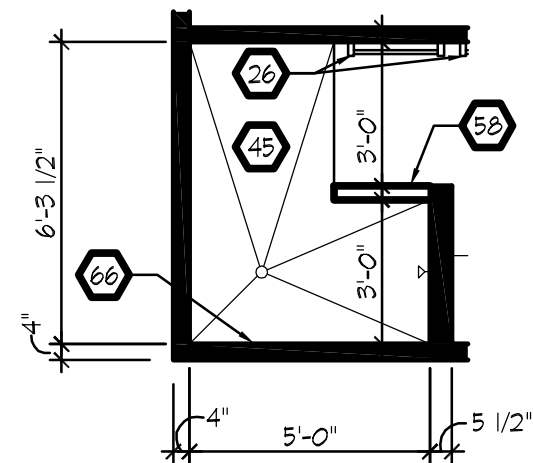
SHEET NUMBER:  
**A.201**  
D1 - 2010





## First Floor Plan

Scale: 1/4" = 1'-0"



## Master Bath - Optional Walk-In Shower

Scale: 1/4" = 1'-0"

THESE ARCHITECTURAL PLANS DEPICT THE GENERAL PLAN FOR CONDOMINIUM BUILDINGS WITHIN THE PROPOSED PLANNED DEVELOPMENT. ADDITIONAL PLANS FOR CONDOMINIUM BUILDINGS MAY BE USED FOR BUILDINGS WITHIN THE PROPOSED PLANNED DEVELOPMENT PROVIDED THAT THEY HAVE AT LEAST A 2 CAR GARAGE AND DO NOT EXCEED THE LENGTH AND WIDTH OF THE LARGEST UNIT SHOWN HEREIN.

## GENERAL NOTES

- EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING.
- REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS.
- DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING 3" FROM INTERSECTING WALLS.

## FIRST FLOOR PLAN CODED NOTES

(FIRST FLOOR UNIT PLANS ONLY)  
(ALL NOTES NOT APPLICABLE TO ALL SHEETS)

- EXTERIOR STUD WALL - 2 X 4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL INTERIOR SURFACES AND 7/16" O.S.B. SHEATHING ON EXTERIOR SURFACES - TYPICAL.
- INTERIOR STUD WALL - 2 X 4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL FINISHED SURFACES - TYPICAL.
- FLAT DRYWALL CEILING @ 9'-0" A.F.F. - TYPICAL UNLESS NOTED OTHERWISE.
- 12" DEEP CERAMIC TILE HEARTH EXTENSION - CENTERED ON FIREBOX. SEE FLOOR PLAN FOR WIDTH.
- ISLAND BASE CABINETS & COUNTERTOP - FINISH ALL EDGES OF CABINETS & COUNTERTOP.
- TRAY CEILING @ 10'-0" A.F.F.
- PROVIDE FIBERGLASS BATT INSULATION IN GARAGE WALLS COMMON TO LIVING SPACE.
- MAINTAIN 4" MINIMUM ELEVATION CHANGE BETWEEN GARAGE FLOOR & FINISHED FIRST FLOOR.
- (OPTIONAL) PREFABRICATED VENT FREE METAL FIREBOX UNIT MALESTIC MODEL 32VFSG, PROVIDE GAS LINE, GAS LOG SET AND SCREEN - ROUGH OPENING 32 1/2" WIDE X 30 1/4" HIGH X 12 1/4" DEEP.
- OPTIONAL CABINETS - SEE INTERIOR ELEVATIONS.
- WASHER LOCATION - PROVIDE WASHER BOX ON BACK WALL. WASHER ALWAYS LOCATED LEFT OF DRYER.
- DRYER LOCATION - DRYER VENT IN WALL.
- OPTIONAL UTILITY SINK AND FAUCET - INSTALL ROUGH-IN PLUMBING ONLY.
- SINGLE CLOSET ROD & SHELF (81 1/2" A.F.F.) - VINYL COATED WIRE WITH STANDARD SPACING.
- ARCHED OPENING - SPRING POINT @ 7'-8" A.F.F. TOP OF ARCH 8'-6" ABOVE SPRING POINT.
- LOCATION OF DOUBLE 2 X 4 STUD WALL.
- FRAMELESS MIRROR LOCATION - 42" HIGH X 2" SHORTER THAN VANITY TOP (1" EACH SIDE) - SET BOTTOM OF MIRROR AT TOP OF BACKSPLASH.
- VANITY BASE AND COUNTERTOP 31 1/2" A.F.F.
- TOILET & SEAT.
- SELF-RIMMING COUNTER LAVATORY AND FAUCET.
- 32" X 60" STANDARD TUB/SHOWER & FAUCET WITH CERAMIC TILE SURROUND.
- TEMPERED GLASS SHOWER ENCLOSURE AND DOOR.
- 25 1/2" X 54" OPTIONAL HALL DOWN STAIR LOCATED BETWEEN TRUSSES ABOVE. DRYWALL ON STAIR SHALL BE MOUNTED WITH SCREWS INTO THE TOP & BOTTOM DOOR CROSS SUPPORTS WITH THE CENTER GLUED LEAVING NO SCREWS EXPOSED.
- BASE CABINETS AND COUNTERTOP.
- LINE OF HALL CABINETS ABOVE.
- 24" LONG TOWEL BAR - 54" A.F.F. (58" A.F.F. ABOVE TOILET).
- REFRIGERATOR LOCATION.
- DOUBLE BOWL SINK AND FAUCET.
- RANGE LOCATION.
- DISHWASHER LOCATION.
- 10" X 10" BUILT-UP COLUMN - TYPICAL. SEE DETAIL D, SHEET A304 FOR MORE INFORMATION.
- TOILET PAPER DISPENSER.
- (4) 16" DEEP WIRE SHELVES (24", 42", 55", 68" A.F.F.) - STANDARD SPACING. TYPICAL AT LINEN CLOSETS AND PANTRIES, UNLESS NOTED OTHERWISE.
- FURNACE LOCATION.
- WATER HEATER LOCATION - WITH PAN.
- 10" X 10" BUILT-UP COLUMN - TYPICAL. SEE DETAIL F, SHEET A304 FOR MORE INFORMATION.
- 16'-0" X 8'-0" OPTIONAL ATTIC STORAGE ABOVE - PROVIDE 3/4" APA RATED SUB-FLOORING ON BOTTOM CHORD OF TRUSSES.
- 1/2 WALL TO UNDERSIDE OF BAR COUNTERTOP.
- HOSE BIBB LOCATION.
- SURFACE MOUNTED ELECTRIC PANEL LOCATION.
- PROVIDE (2) JACKS UNDER ALL HEADERS IN OPENINGS OVER 60" WIDE - TYPICAL.
- INDICATES MULTIPLE STUD COLUMN IN WALL - TYPICAL AT BEARINGS OF ALL WOOD BEAMS, GIRDER TRUSSES UNLESS NOTED OTHERWISE. SEE PLAN FOR NUMBER OF STUDS REQUIRED.
- MINIMUM 1/2" DRYWALL ON GARAGE SIDE.
- 32" X 60" STANDARD SHOWER BASE.
- CUSTOM TILED ROLL-IN SHOWER BASE - SEE PLAN FOR SIZE.
- WOOD GUARD RAIL - SEE DETAIL K ON SHEET A304.
- 8" ROUND DORIC COLUMN.
- FLAT DRYWALL CEILING ON UNDERSIDE OF BOTTOM CHORD OF ROOF TRUSSES OR FLOOR JOISTS.
- FLAT DRYWALL CEILING @ 8'-4" A.F.F.
- SOAP DISH - 5" HIGH X 11" WIDE.
- DOWNSPOUT LOCATION.
- DOWNSPOUT DISCHARGED INTO BLACK PIPE AND ROUTED UNDER WALKS OR PATIO.
- EDGE OF DRIVEWAY.
- 4" THICK SLAB TYPICAL @ CONCRETE WALKS/PORCHES/PATIOS.
- CONTROL JOINTS - TYPICAL.
- DASHED LINES INDICATE BOXED BEAM ABOVE.
- 12" DEEP SHELF (60" A.F.F.) - VINYL COATED WIRE - STANDARD SPACING.
- SHOWER WALL - 6'-0" A.F.F.
- OPTIONAL GARAGE SHELVING.
- OPTIONAL DESK.
- COURTYARD GATE AND FENCE LOCATION.
- DASHED LINE INDICATES OPTIONAL PATIO SECTION.
- OPTIONAL WINDOWS.
- (4) 12" DEEP WIRE SHELVES (24", 42", 55", 68" A.F.F.) - STANDARD SPACING. TYPICAL AT LINEN CLOSETS AND PANTRIES, UNLESS NOTED OTHERWISE.
- 32" X 60" SHOWER BASE WITH BUILT-IN SEAT.
- HARDBOARD TREADS AND RISERS.
- WOOD HANDRAIL - 34" ABOVE STAIR TREADS. RETURN ENDS TO WALL OR NEWEL POST.
- SINGLE BOWL SINK AND FAUCET.
- 20" RANGE LOCATION.
- FLAT DRYWALL CEILING @ 8'-0" A.F.F.

REV. DATE REV. BY DESCRIPTION

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**EPON**  
Communities  
**RAVENSWOOD**  
AT HICKORY RIDGE

SEAL:

SHEET TITLE:

FIRST FLOOR PLAN

PROJECT:

KALAN HOMES - PORTICO

PROJECT LOCATION:

WEST LAFAYETTE, INDIANA

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DRAWN BY: LJS  
PLAN DATE: November 19, 2010  
PLOT DATE: November 23, 2010

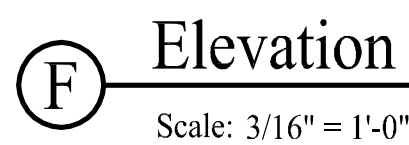
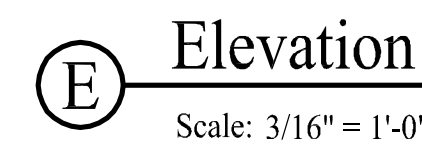
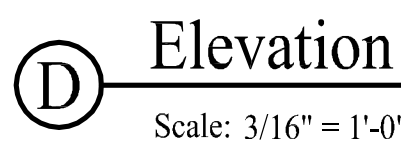
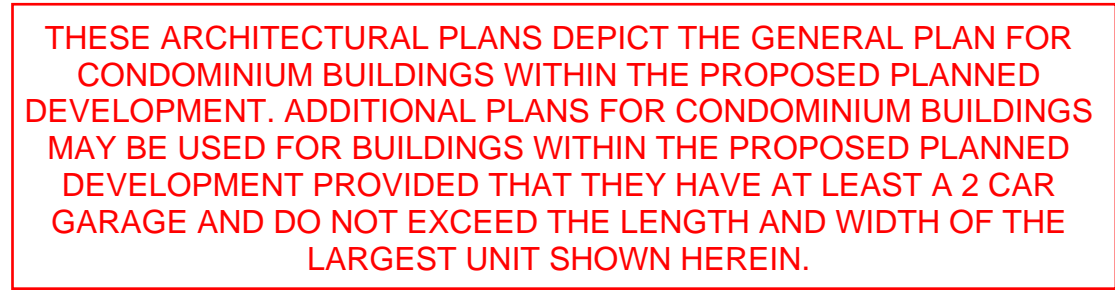
PROJECT NUMBER:  
R-10037

SHEET NUMBER:  
A.101  
D2-2010

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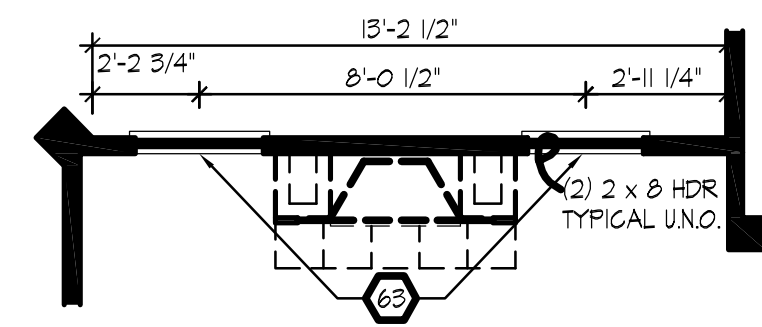




- ALL SIDING & TRIM TO BE LOUISIANA PACIFIC "SMART  
SIDE" CEDAR GRAIN TEXTURE (UNLESS NOTED OTHERWISE)  
- SIZES AS INDICATED.

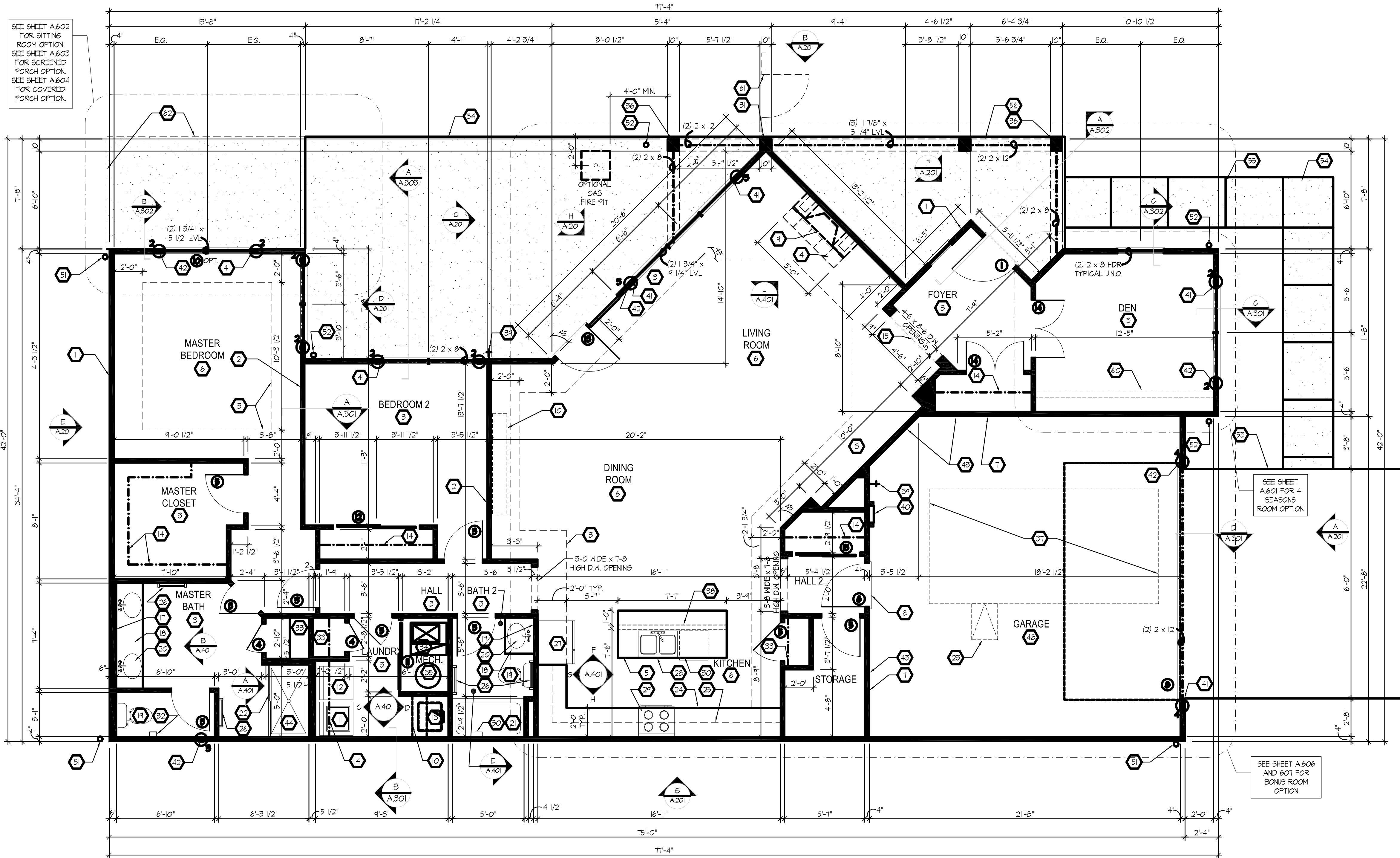
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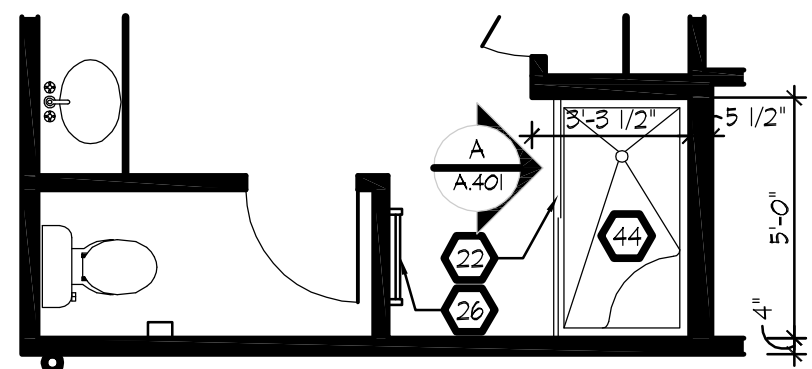
## Living Room - Optional Windows

Scale: 1/4" = 1'-0"



## First Floor Plan

Scale: 1/4" = 1'-0"



## Master Bath - Optional Walk-In Shower

Scale: 1/4" = 1'-0"

THESE ARCHITECTURAL PLANS DEPICT THE GENERAL PLAN FOR CONDOMINIUM BUILDINGS WITHIN THE PROPOSED PLANNED DEVELOPMENT. ADDITIONAL PLANS FOR CONDOMINIUM BUILDINGS MAY BE USED FOR BUILDINGS WITHIN THE PROPOSED PLANNED DEVELOPMENT PROVIDED THAT THEY HAVE AT LEAST A 2 CAR GARAGE AND DO NOT EXCEED THE LENGTH AND WIDTH OF THE LARGEST UNIT SHOWN HEREIN.

11. LINE OF BREAK OF SLOPED DRYWALL CEILING - FOLLOW BOTTOM CHORD OF ROOF TRUSSES OR RAFTERS ABOVE.
12. SLOPED CEILING AREA ABOVE.
13. ACCESS PANEL - 22 1/2" x 30" - 6" MIN. A.F.F.
14. UNDER THE COUNTER REFRIGERATOR LOCATION.
15. FLAT DRYWALL CEILING @ 7'-0" A.F.F.
16. HALF WALL @ 36" A.F.F. WITH 1 X 6 HARDWOOD CAP.
17. SINGLE CLOSET ROD & SHELF (48" A.F.F.) - VINYL COATED WIRE WITH STANDARD SPACING.
18. 2 X 4 STUD KNEE WALL - RUN FROM FLOOR STRUCTURE BELOW TO UNDERSIDE OF ROOF FRAMING.
19. 3" DIAMETER STANDARD STEEL PIPE COLUMN WITH 1/2" CAP PLATE AND 1/2" X 4" X 6" BASE PLATE.
20. FULL HEIGHT PANTRY CABINET - SEE INTERIOR ELEVATIONS.
21. DASHED LINE INDICATES BEAM - SEE BONUS ROOM GARAGE WALL SECTION.
22. LINE INDICATES EXPOSED FOUNDATION STEM WALL.

## GENERAL NOTES

1. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING.
2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS.

## FIRST FLOOR PLAN COORD NOTES

(FIRST FLOOR UNIT PLANS ONLY)  
(ALL NOTES NOT APPLICABLE TO ALL SHEETS)

1. EXTERIOR STUD WALL - 2 X 4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL INTERIOR SURFACES AND 1/8" O.S.B. SHEATHING ON EXTERIOR SURFACES - TYPICAL.
2. INTERIOR STUD WALL - 2 X 4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL FINISHED SURFACES - TYPICAL.
3. FLAT DRYWALL CEILING @ 9'-0" A.F.F. - TYPICAL UNLESS NOTED OTHERWISE.
4. 12" DEEP CERAMIC TILE HEARTH EXTENSION - CENTERED ON FIREBOX. SEE FLOOR PLAN FOR WIDTH.
5. ISLAND BASE CABINETS & COUNTERTOP - FINISH ALL EDGES OF CABINETS & COUNTERTOP.
6. TRAY CEILING @ 10'-0" A.F.F.
7. PROVIDE FIBERGLASS BATT INSULATION IN GARAGE WALLS COMMON TO LIVING SPACE.
8. MAINTAIN 4" MINIMUM ELEVATION CHANGE BETWEEN GARAGE FLOOR & FINISHED FIRST FLOOR.
9. (OPTIONAL) PREFABRICATED VENT FREE METAL FIREBOX UNIT MAJESTIC MODEL 32VFS, PROVIDE GAS LINE, GAS LOG SET AND SCREEN - ROUGH OPENING 32 1/2" WIDE X 30 1/4" HIGH X 12 1/4" DEEP.
10. OPTIONAL CABINETS - SEE INTERIOR ELEVATIONS.
11. WASHER LOCATION - PROVIDE WASHER BOX ON BACK WALL. WASHER ALWAYS LOCATED LEFT OF DRYER.
12. DRYER LOCATION - DRYER VENT IN WALL.
13. OPTIONAL UTILITY SINK AND FAUCET - INSTALL ROUGH-IN PLUMBING ONLY.
14. SINGLE CLOSET ROD & SHELF (61 1/2" A.F.F.) - VINYL COATED WIRE WITH STANDARD SPACING.
15. ARCHED OPENING. SPRING POINT @ 7'-8" A.F.F. TOP OF ARCH 8'-6" ABOVE SPRING POINT.
16. LOCATION OF DOUBLE 2 X 4 STUD WALL.
17. FRAMELESS MIRROR LOCATION - 42" HIGH X 2" SHORTER THAN VANITY TOP (1" EACH SIDE) - SET BOTTOM OF MIRROR AT TOP OF BACKSPLASH.
18. VANITY BASE AND COUNTERTOP 31 1/2" A.F.F.
19. TOILET & SEAT.
20. SELF-RIMMING COUNTER LAVATORY AND FAUCET.
21. 32" X 60" STANDARD TUB/SHOWER & FAUCET WITH CERAMIC TILE SURROUND.
22. TEMPERED GLASS SHOWER ENCLOSURE AND DOOR.
23. 25 1/2" X 54" OPTIONAL PULL DOWN STAIR LOCATED BETWEEN TRUSSES ABOVE. DRYWALL ON STAIR SHALL BE MOUNTED WITH SCREWS INTO THE TOP & BOTTOM DOOR CROSS SUPPORTS WITH THE CENTER GULF LEAVING NO SCREWS EXPOSED.
24. BASE CABINETS AND COUNTERTOP.
25. LINE OF WALL CABINETS ABOVE.
26. 24" LONG TOWEL BAR - 54" A.F.F. (58" A.F.F. ABOVE TOILET).
27. REFRIGERATOR LOCATION.
28. DOUBLE BOWL SINK AND FAUCET.
29. RANGE LOCATION.
30. DISHWASHER LOCATION.
31. 10" X 10" BUILT-UP COLUMN - TYPICAL. SEE DETAIL D, SHEET A304 FOR MORE INFORMATION.
32. TOILET PAPER DISPENSER.
33. (4) 12" DEEP WIRE SHELVES (24", 42", 55", 68" A.F.F.) - STANDARD SPACING. TYPICAL AT LINEN CLOSETS AND PANTRIES. UNLESS NOTED OTHERWISE.
34. FURNACE LOCATION.
35. WATER HEATER LOCATION - WITH PAN.
36. 10" X 10" BUILT-UP COLUMN - TYPICAL. SEE DETAIL F, SHEET A304 FOR MORE INFORMATION.
37. 16'-0" X 8'-0" OPTIONAL ATTIC STORAGE ABOVE - PROVIDE 3/4" APA RATED SUB-FLOORING ON BOTTOM CHORD OF TRUSSES.
38. 1/2 WALL TO UNDERSIDE OF BAR COUNTERTOP.
39. HOSE BIBB LOCATION.
40. SURFACE MOUNTED ELECTRIC PANEL LOCATION.
41. PROVIDE (2) JACKS UNDER ALL HEADERS IN OPENINGS OVER 60" WIDE - TYPICAL.
42. INDICATES MULTIPLE STUD COLUMN IN WALL - TYPICAL AT BEARING OF ALL WOOD BEAMS, GIRDER TRUSSES UNLESS NOTED OTHERWISE. SEE PLAN FOR NUMBER OF STUDS REQUIRED.
43. MINIMUM 1/2" DRYWALL ON GARAGE SIDE.
44. 32" X 60" STANDARD SHOWER BASE.
45. CUSTOM TILED ROLL-IN SHOWER BASE - SEE PLAN FOR SIZE.
46. WOOD GUARD RAIL - SEE DETAIL K ON SHEET A304.
47. 8" ROUND DORIC COLUMN.
48. FLAT DRYWALL CEILING ON UNDERSIDE OF BOTTOM CHORD OF ROOF TRUSSES OR FLOOR JOISTS.
49. FLAT DRYWALL CEILING @ 8'-4" A.F.F.
50. SOAP DISH - 5" HIGH X 7" WIDE.
51. DOWNSPOUT LOCATION.
52. DOWNSPOUT DISCHARGED INTO BLACK PIPE AND ROUTED UNDER WALKS OR PATIO.
53. EDGE OF DRIVEWAY.
54. 4" THICK SLAB TYPICAL @ CONCRETE WALKS/PORCHES/PATIOS.
55. CONTROL JOINTS - TYPICAL.
56. DASHED LINES INDICATE BOXED BEAM ABOVE.
57. 12" DEEP SHELF (60" A.F.F.) - VINYL COATED WIRE - STANDARD SPACING.
58. SHOWER WALL - 6'-0" A.F.F.
59. OPTIONAL GARAGE SHELVING.
60. OPTIONAL DESK.
61. COURTYARD GATE AND FENCE LOCATION.
62. DASHED LINE INDICATES OPTIONAL PATIO SECTION.
63. OPTIONAL WINDOWS.
64. (4) 12" DEEP WIRE SHELVES (24", 42", 55", 68" A.F.F.) - STANDARD SPACING. TYPICAL AT LINEN CLOSETS AND PANTRIES. UNLESS NOTED OTHERWISE.
65. 32" X 60" SHOWER BASE WITH BUILT-IN SEAT.
66. HARDBOARD TREADS AND RISERS.
67. WOOD HANDRAIL - 34" ABOVE STAIR TREADS. RETURN ENDS TO WALL OR NEWEL POST.
68. SINGLE BOWL SINK AND FAUCET.
69. 20" RANGE LOCATION.
70. FLAT DRYWALL CEILING @ 8'-0" A.F.F.

REV. DATE REV. BY DESCRIPTION

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AT HICKORY RIDGE

SEAL:

SHEET TITLE:

**FIRST FLOOR PLAN**

PROJECT:

**KALAN HOMES - PROMENADE**

PROJECT LOCATION:

**WEST LAFAYETTE, INDIANA**

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DRAWN BY: LJS

CHKD BY: AAS

PLAN DATE: November 19, 2010

PLOT DATE: November 23, 2010

PROJECT NUMBER:

**R-10037**

SHEET NUMBER:

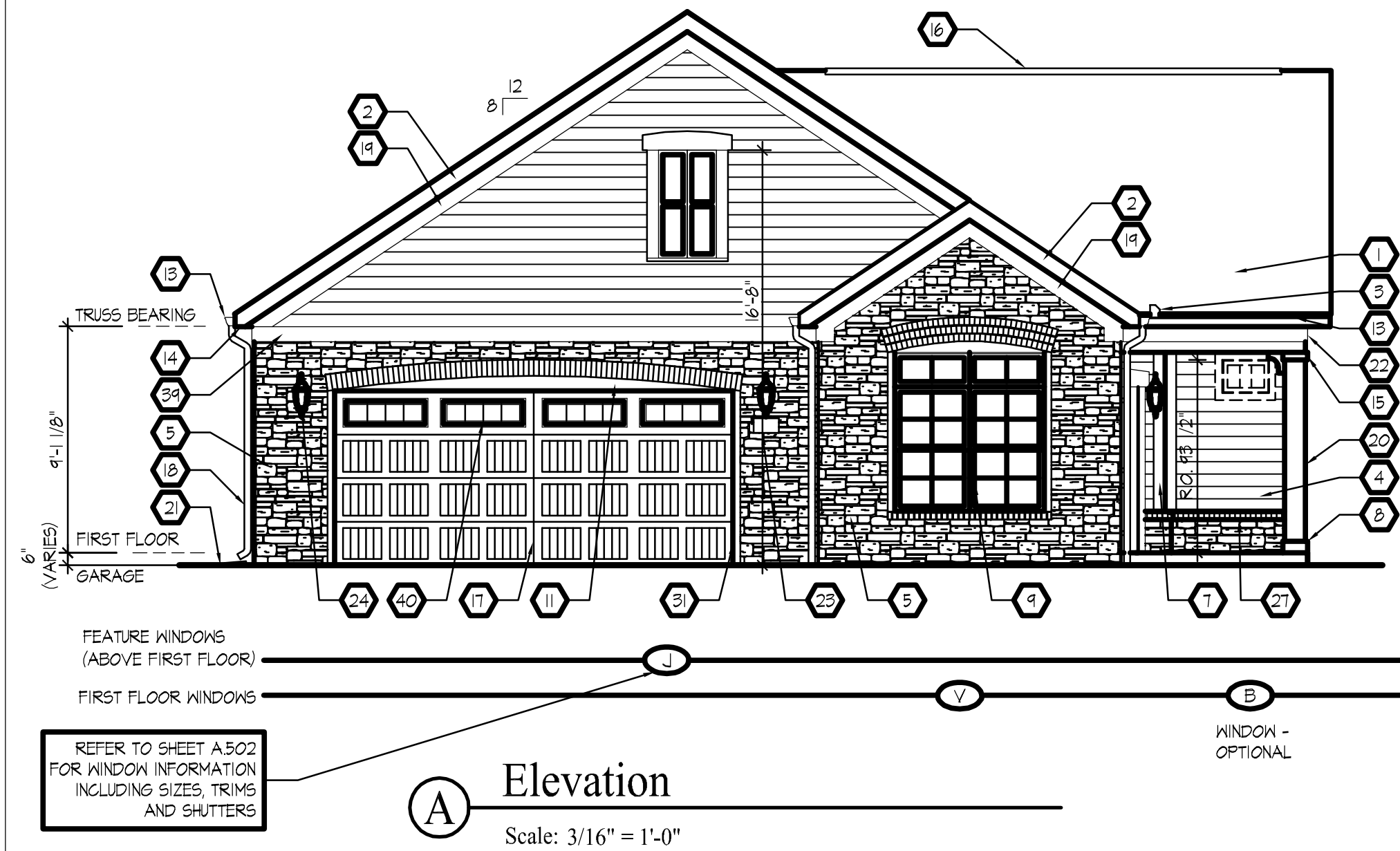
**A.101**

D3 - 2010

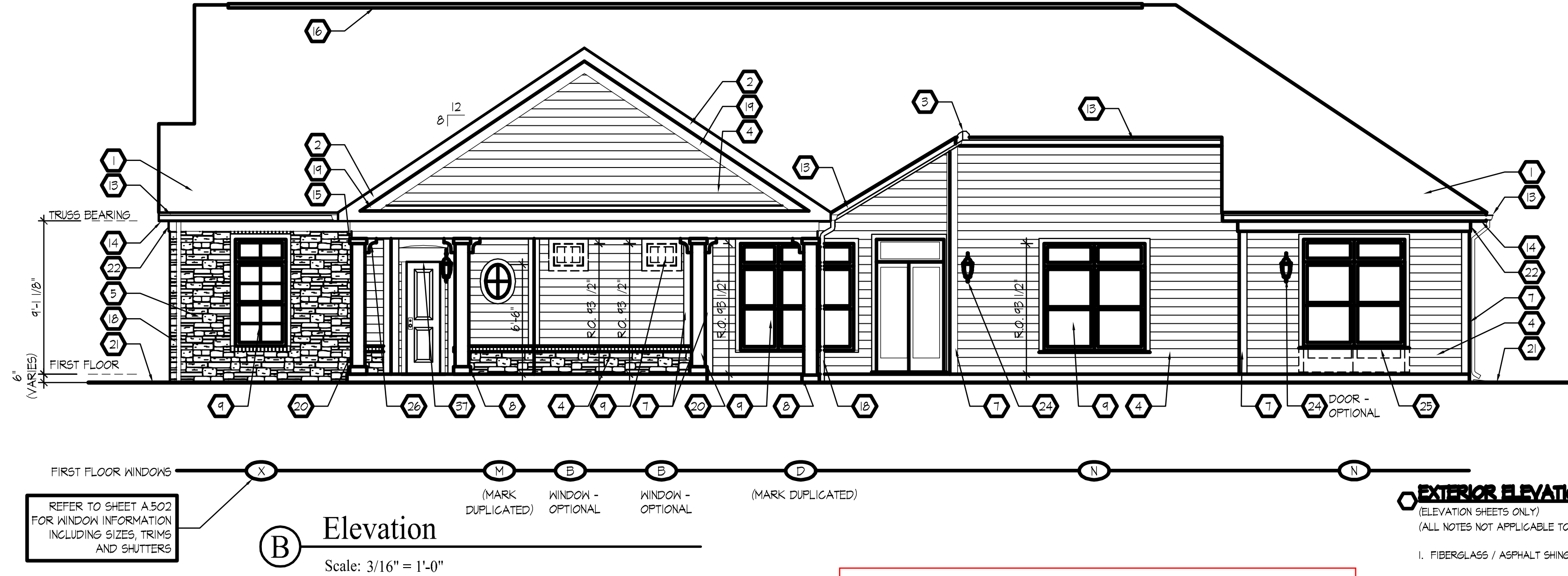
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**A** Elevation  
Scale: 3/16" = 1'-0"



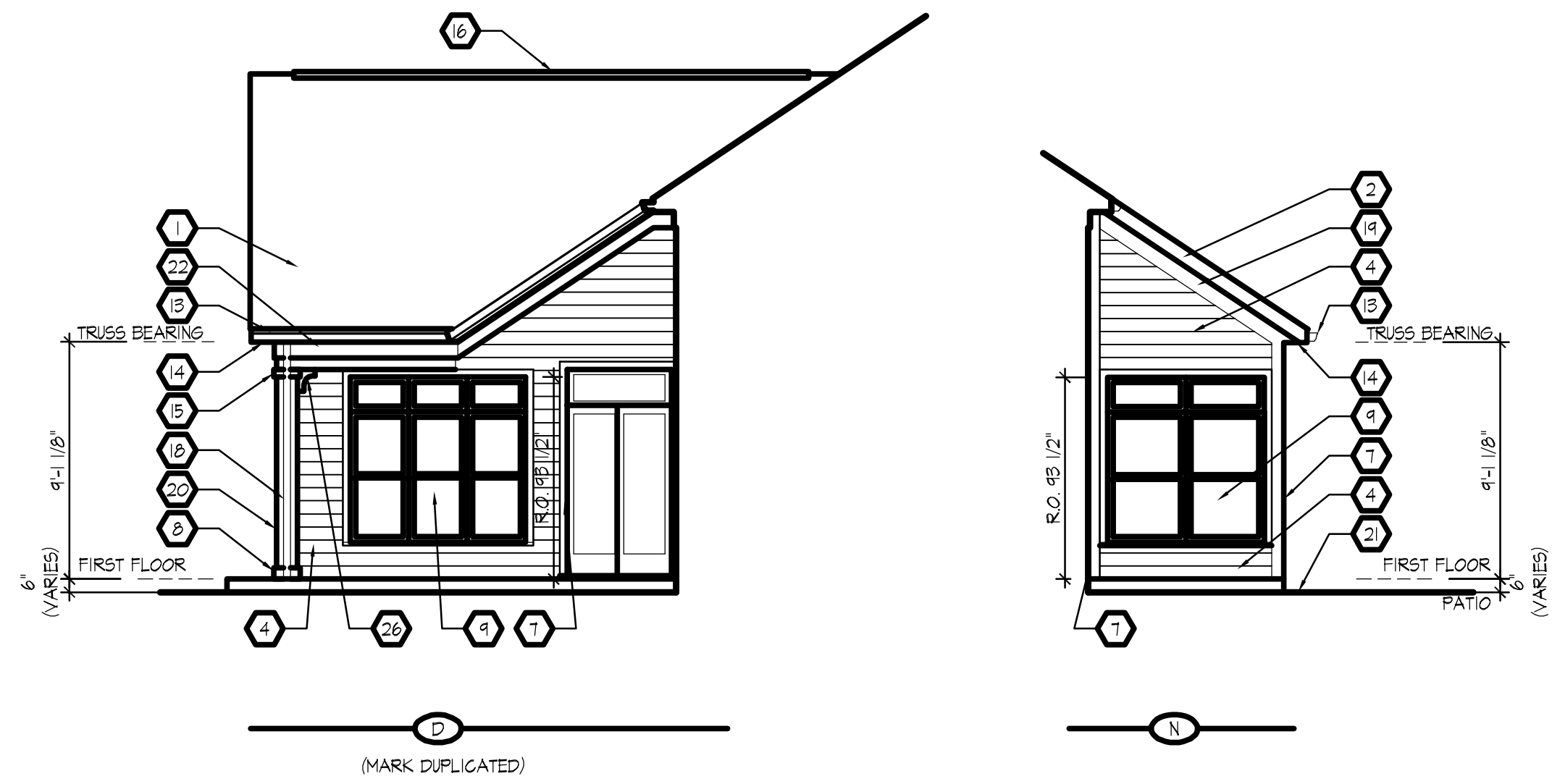
**B** Elevation  
Scale: 3/16" = 1'-0"

**EXTERIOR ELEVATION CODED NOTES**  
(ELEVATION SHEETS ONLY)  
(ALL NOTES NOT APPLICABLE TO ALL SHEETS)

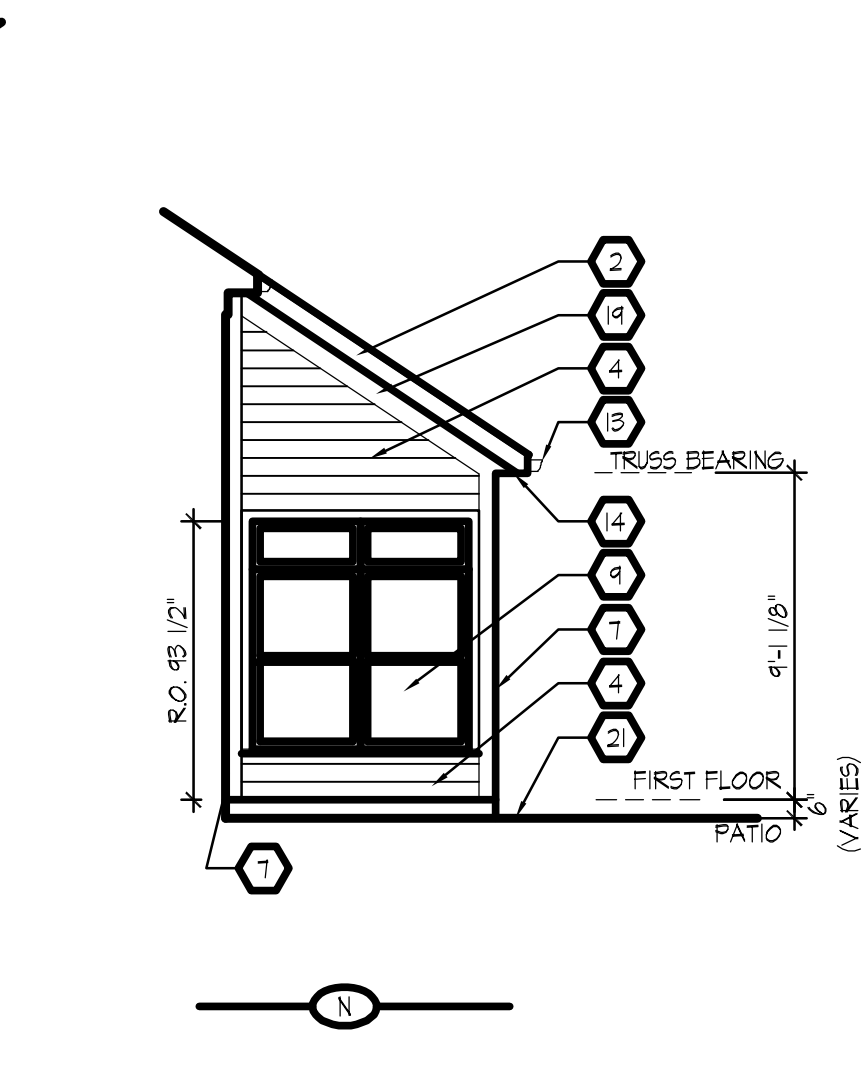
1. FIBERGLASS / ASPHALT SHINGLE ROOFING OVER 1 LAYER OF 1/2" FELT - TYPICAL.
2. ALUMINUM CLAD WOOD RAKE EXTENSION - TYPICAL.
3. WATER FLOW DIVERTER - TYPICAL AT VALLEY EDGES.
4. PRE-FRIMED COMPOSITION FIBER CEMENT LAP SIDING.
5. CULTURED STONE VENEER. COLOR, STYLE, MORTAR COLOR, COURSING, & JOINT STYLE TO BE SELECTED BY THE OWNER.
6. T-111 PLYWOOD SIDING.
7. 5/4 x 6 CORNER TRIM - RIP ONE SIDE TO ACHIEVE 5 1/2" DIMENSION EACH SIDE OF CORNER.
8. 1 x 6 PAINTED COLUMN BASE TRIM WITH BEVELED TOP EDGE - TYPICAL.
9. VINYL WINDOW UNIT (TYPICAL) - SEE WINDOW DETAILS ON SHEET A502 FOR SIZE AND TRIM INFORMATION.
10. PRE-HUNG INSULATED METAL ENTRY DOOR - PAINTED. SEE DOOR SCHEDULE FOR MORE INFORMATION.
11. BRICK ARCHED SOLDIER COURSE AT DOOR HEAD OVER 5/4 SMOOTH SAVIN CEDAR TRIM.
12. DORMER LOCATION. SEE DETAIL A ON SHEET A304 FOR MORE INFORMATION.
13. 5" ALUMINUM OSEEG GUTTER ON 2 X 8 ALUMINUM CLAD WOOD SUB FASCIA - TYPICAL.
14. VENTED ALUMINUM SOFFIT (TYPICAL) - SEE TYPICAL WALL SECTIONS FOR MORE DETAILS.
15. 1 x 4 PAINTED COLUMN GAP TRIM - TYPICAL.
16. CONTINUOUS RIDGE VENT LOCATION - TYPICAL.
17. PANELED OVERHEAD GARAGE DOOR - TYPICAL. SEE SHEET A501 FOR DETAILS.
18. DOWNSPOUT LOCATION WITH SPLASH BLOCK (NO SPLASH BLOCK WHERE ROUTED UNDER WALKS AND PATIO) - TYPICAL.
19. 5/4 x 8 RAKE TRIM AT FACE OF WALL - TYPICAL.
20. 10" SQUARE BUILT-UP COLUMN/PILASTER - SEE DETAIL F, SHEET A304 FOR MORE INFORMATION - TYPICAL.
21. APPROXIMATE LINE OF GRADE - TO BE COORDINATED WITH BUILDER PRIOR TO START OF CONSTRUCTION - MAINTAIN MINIMUM 6" BELOW FIRST FLOOR - TYPICAL.
22. 5/4 x 8 FRIEZE BOARD TRIM - TYPICAL.
23. ADDRESS PLAQUE - USE DOUBLE THICKNESS TRIM AS BACKING. MOUNT TOP @ 5'-5" A.F.F. ON WALL - TYPICAL.
24. EXTERIOR LIGHT FIXTURE - USE DOUBLE THICKNESS TRIM AS BACKING. MOUNT TOP @ 6'-1" A.F.F. ON WALL - TYPICAL.
25. ALUMINUM CLAD WOOD FRENCH SLIDING DOOR UNIT - PAINTED. SEE DOOR SCHEDULE FOR MORE INFORMATION.
26. DECORATIVE WALL BRACKET - FYPON BKT8XB.
27. SLOPED BRICK ROWLOCK BELT COURSE.
28. 5/4 PLASTER TRIM - CUT TO FIT BETWEEN WINDOWS.
29. 5/4 x 8 ARCHED LOUVER TRIM.
30. BRICK SOLDIER COURSE.
31. 5/4 x 6 PAINTED WOOD TRIM.
32. EYEBROW LOUVER - BY FYPON - 1'-6" WIDE X 2'-6" HIGH OR EQUAL.
33. PROVIDE STEP FLASHING AND COUNTER FLASHING MIN. 16" HIGH THE ENTIRE LENGTH OF VERTICAL WALL ADJACENT TO ROOF - TYPICAL.
34. HEAD AND SILL WINDOW TRIM TO CONTINUE TO ADJACENT CORNER TRIM. TRIM INFILL BETWEEN WINDOW JAMB AND CORNER TRIM OR CUT WINDOW TRIM AS NECESSARY- CORNER TRIM ALWAYS CONTINUOUS.
35. POURED CONCRETE STEPS WITH 11" TREAD AND 8 1/4" RISER MAXIMUM.
36. 2 X 8 PAINTED WOOD HEAD TRIM WITH 2" OVERHANG EACH SIDE.
37. 2 X 10 PAINTED WOOD EYEBROW TRIM. END OF TRIM TO BE 2" LESS THAN HEIGHT OF 2X.
38. WOOD GUARD RAIL - SEE DETAIL K ON SHEET A304.
39. 5/4 X 8 TRIM - SEE WALL SECTION D ON SHEET A301.
40. WINDOWS IN GARAGE DOORS - OPTIONAL.
41. DORMER LOCATION. SEE WALL SECTION ON SHEET A303A FOR MORE INFORMATION.

ALL SIDING & TRIM TO BE LOUISIANA PACIFIC "SMART SIDE" CEDAR GRAIN TEXTURE (UNLESS NOTED OTHERWISE) - SIZES AS INDICATED.

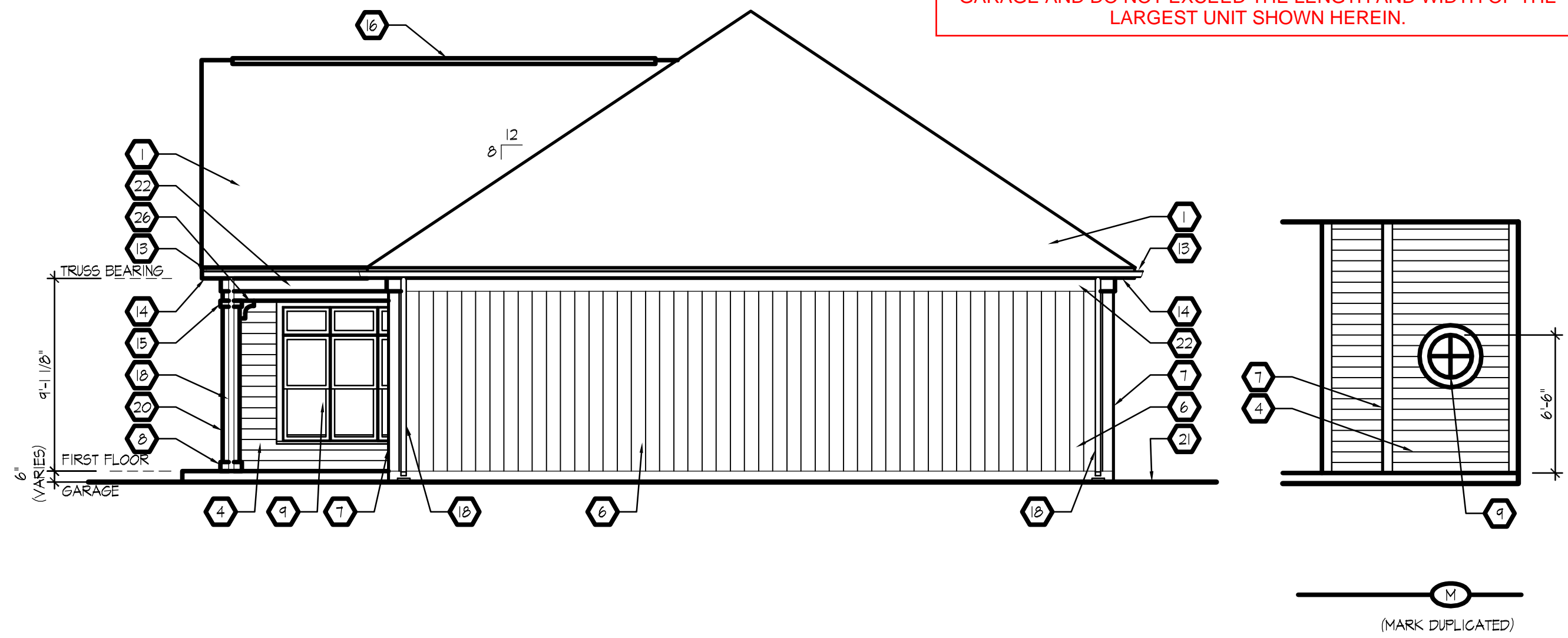
THESE ARCHITECTURAL PLANS DEPICT THE GENERAL PLAN FOR CONDOMINIUM BUILDINGS WITHIN THE PROPOSED PLANNED DEVELOPMENT. ADDITIONAL PLANS FOR CONDOMINIUM BUILDINGS MAY BE USED FOR BUILDINGS WITHIN THE PROPOSED PLANNED DEVELOPMENT PROVIDED THAT THEY HAVE AT LEAST A 2 CAR GARAGE AND DO NOT EXCEED THE LENGTH AND WIDTH OF THE LARGEST UNIT SHOWN HEREIN.



**C** Elevation  
Scale: 3/16" = 1'-0"

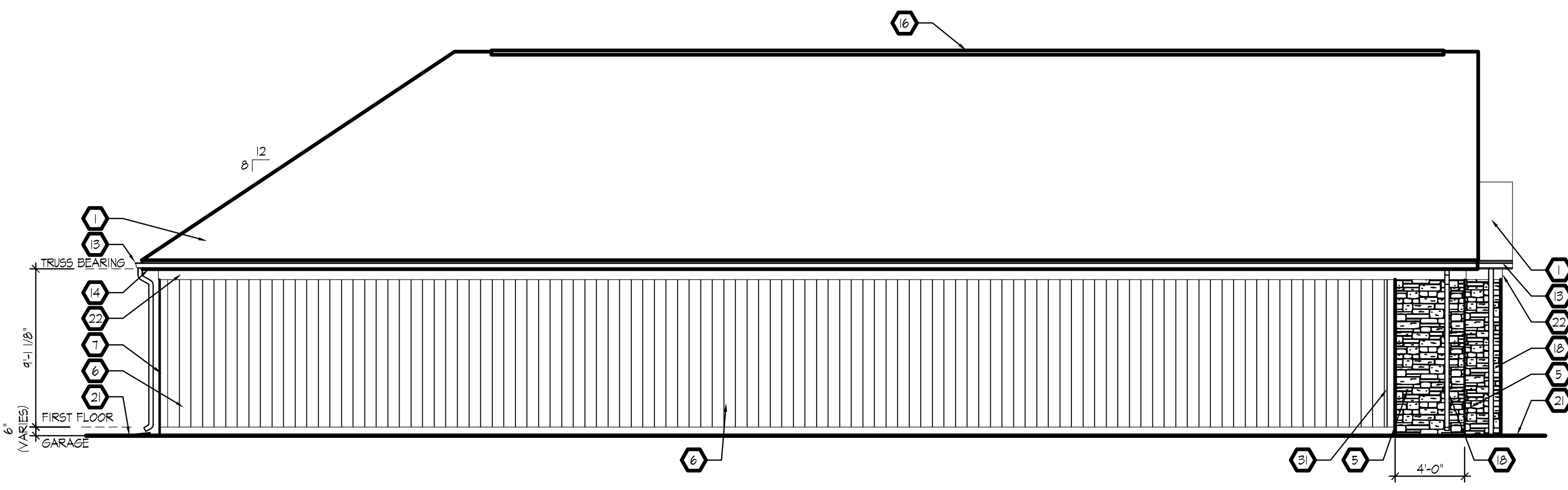


**D** Elevation  
Scale: 3/16" = 1'-0"

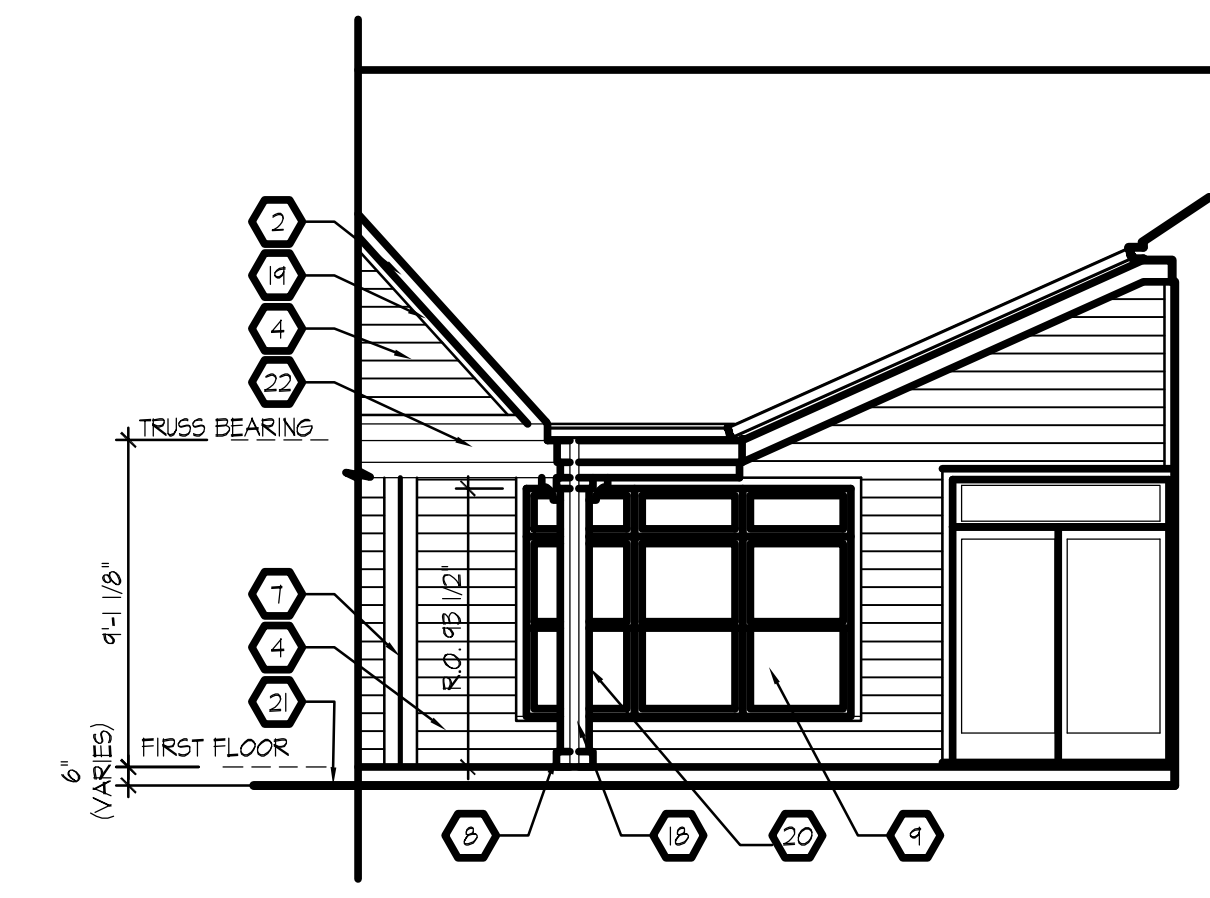


**E** Elevation  
Scale: 3/16" = 1'-0"

**F** Elevation  
Scale: 3/16" = 1'-0"



**G** Elevation  
Scale: 3/16" = 1'-0"



**H** Elevation  
Scale: 3/16" = 1'-0"

REV.	DATE	REV. BY	DESCRIPTION

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SHEET TITLE:  
**EXTERIOR ELEVATIONS**

PLAN DATE: November 19, 2010  
PLOT DATE: November 23, 2010

DRAWN BY: LJS  
CHKD BY: AAS

PROJECT:  
**KALAN HOMES - PROMENADE**

PROJECT LOCATION:  
**WEST LAFAYETTE, INDIANA**

PROJECT NUMBER:  
**R-10037**

SHEET NUMBER:  
**A.201**  
D3-2010